



LEVEL 2 HOME SURVEY



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A	ABOUT THE INSPECTION & REPORT
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As agreed, this report will contain the following:

- a physical inspection of the property and
- a report based on the inspection.

About the report

We aim to give you professional advice to:

- make a reasoned and informed decision on whether to go ahead with buying the property
- take into account any repairs or replacements the property needs, and
- consider what further advice you should take before committing to purchasing the property.

Any extra services we provide that are not covered by the terms and conditions of this report must be covered by a separate contract.

About the inspection

- We only carry out a visual inspection.
- We inspect roofs, chimneys and other surfaces on the outside of the building from ground level and, if necessary, from neighbouring public property and with the help of binoculars.
- We inspect the roof structure from inside the roof space if there is access (although we do not move or lift insulation material, stored goods or other contents). We examine floor surfaces and under-floor spaces so far as there is safe access to these (although we do not move or lift furniture, floor coverings or other contents). We do not remove the contents of cupboards. We are not able to assess the condition of the inside of any chimney, boiler or other flues. Also, we do not remove secured panels or undo electrical fittings.
- We note in our report if we are not able to check any parts of the property that the inspection would normally cover. If we are concerned about these parts, the report will tell you about any further investigations that are needed.
- We do not report on the cost of any work to put right defects or make recommendations on how these repairs should be carried out. Some maintenance and repairs we suggest may be expensive.
- We inspect the inside and outside of the main building and all permanent outbuildings, but we do not force or open up the fabric of the building. We also inspect the parts of the electricity, gas/oil, water, heating and drainage services that can be seen, but we do not test them. To help describe the condition of the home, we give condition ratings to the main parts (the 'elements') of the building, garage and some parts outside. Some elements can be made up of several different parts.
- In the element boxes in sections D, E, F and G, we describe the part that has the worst condition rating first and then briefly outline the condition of the other parts. The condition ratings are described in section B of this report. The report covers matters that, in the surveyor's opinion, need to be dealt with or may affect the value of the property.

Please refer to your terms and conditions dated the 09-02-2024 for a full list of exclusions.

A.	THE INSPECTION
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Surveyor's details

Nitin Randev **RICS number:**6959769

Company details

River Crest Surveyors

Office B, Chesil House, Arrow Close, Eastleigh, England, SO50 4SY

Tel:023 8129 0888

Date of the Inspection

09-02-2024

Prior Involvement declaration

I can confirm we have had no prior involvement with either the client, the property or indeed have no connection to this property transaction.

Property address

Weather conditions

At the time of inspection, it was dry.

Status of the property

The property was unoccupied and unfurnished. The floors were fully covered.

B	OVERALL OPINION
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This section provides our overall opinion of the property, highlighting areas of concern, and summarises the condition ratings of different elements of the property. If an element is made up of a number of different parts (for example, a pitched roof to the main building and a flat roof to an extension), only the part in the worst condition is shown here.

Important note

To get a balanced impression of the property, we strongly recommend that you read all sections of the report, in particular the appendices section on , What to do now, and discuss this with us if required.

This section contains

- Condition ratings
- Summary of opinion of the property

B	CONDITION RATINGS
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To determine the condition of the property, we assess the main parts (the 'elements') of the building, garage and some outside areas. These elements are rated on the urgency of maintenance needed, ranging from 'very urgent' to 'no issues recorded'



No significant repairs are required. The element should be maintained in the normal way.

Element No.	Element Name
D1	Chimney stacks
D5	Windows
D6	Outside doors (including patio doors)
E4	Floors
E6	Built-in fittings (built-in kitchen and other fittings, not including appliances)
E8	Bathroom fittings



Defects which are not considered to be serious at present or requiring urgent attention. Further investigations may be required, and this may sometimes lead to more serious issues being identified, with a consequent increase in repair costs.

Element No.	Element Name
D2	Roof coverings
D3	Rainwater pipes & gutters
D4	Main walls
D8	Other joinery and finishes
E1	Roof structure
E2	Ceilings
E3	Walls and partitions
E7	Woodwork (for example, staircase joinery)
G3	Grounds - Other



Defects which are considered to be serious, in need of urgent attention, or requiring further investigation. Failure to address these issues could result in serious and costly damage to the property. Some defects may present a danger to people.

Also includes overdue safety tests on services installations.

Element No.	Element Name
E5	Fireplaces, chimney breasts and flues
F1	Electricity
F2	Gas/oil
F3	Water
F4	Heating
F5	Water heating
F6	Drainage
G2	Permanent outbuildings and other structures



Elements which are present, or assumed to be present, but are not inspected. Such elements may be concealed from view or inaccessible. Any evidence of possible concealed defects is reported.

Element No.	Element Name
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Not applicable relates to items which do not form part of the property, or have no relevance to the property

Element No.	Element Name
D7	Conservatory and porches
D9	External - Other
E9	Internal - Other
F7	Common services
G1	Garage

B	SUMMARY OF OPINION OF THE PROPERTY
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The property is considered to be a reasonable purchase with no evidence of any significant problems. We would not expect any particular difficulty on resale in normal market conditions.

It is very important that you read this report as a whole. In the main body of the report, we will notify you of the actions that will be required prior to the exchange of contracts and in this respect, we particularly refer you to the section at the end of the report entitled 'What to do now'. You must make sure that you have all of the repairs and improvements investigated by reputable contractors so that you are fully aware of their scope and financial implications before you purchase the property. If you are unsure about any of the items identified for improvement, you should refer back to the surveyor for further guidance and advice as we will be happy to discuss further with you.

This report should be construed as a comment upon the overall condition of the property and is not an inventory of every single defect. The report is based on the condition of the property at the time of our inspection and no liability can be accepted for any deterioration in its condition after that date.

C	PROPERTY DETAILS
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This section includes:

- Property details
- Energy efficiency
- Location and facilities

C	PROPERTY DETAILS
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Type of property

The property comprises an ex-local authority two storey three bedroom mid-terrace house.

Year Built

The property would appear to have been built circa 1950-1966.

Extension / conversion details (where relevant)

N/A

Flats and maisonette specifics

N/A

Construction

The walls are of cavity masonry construction.

Windows and doors are of plastic construction, incorporating double glazed units.

The floors are a mixture of solid and timber construction.

The main roof is pitched covered with tiles.

The outside walls are partly covered with vertical hung tiles.

Accommodation

Floor	Living Rooms	Bedrooms	Bath or Shower	Separate Toilet	Kitchen	Utility Room	Conservatory	Other
GF	2				1			
FF		3	1	1				

C	ENERGY EFFICIENCY
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We are advised that the property’s current energy performance, as recorded in the EPC, is as stated below.

We have checked for any obvious discrepancies between the EPC and the subject property, and the implications are explained to you.

Energy efficiency rating (EPC rating)

The EPC energy efficiency rating for the property is C.This is above for a property of this type.

Issues relating to the EPC rating

N/A

Mains services

Yes Gas
 Yes Electric
 Yes Water
 Yes Drainage

Central Heating

Yes Gas
 N/A Electric
 N/A Solid fuel
 N/A Oil

N/A None

Other services or energy sources (including feed-in tariffs)

N/A

Other energy matters

N/A

C	LOCATION AND FACILITIES
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Grounds

The property occupies an average size plot with gardens to the rear.

Location

The property is located within a residential area, conveniently situated for the usual amenities/facilities.

Facilities

There is no garage although off-street parking is available and a front drive area.

The property has the benefit of garden stores to the rear.

Local environment

The property is believed to have been constructed upon shrinkable clay subsoil. Subsoil's of this type can cause damage to buildings and services, particularly if there are prolonged dry weather spells.

D	EXTERNAL INSPECTION
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Inspection Limitations

The external inspection of the building was limited to those parts that could be seen from ground level, within the boundaries of the property and from accessible public areas only.

D1 - Chimney Stacks**1**

The chimney stack is of masonry construction above the roof-line with lead flashing's to prevent damp penetration occurring internally.

The stack appears to be in generally satisfactory condition, well-formed and with no significant defects noted. Normal maintenance will be required to ensure the stack is watertight.

The condition and integrity of any flues and their layout within the chimney stack could not be verified and further upgrading and improvement in this regard may be necessary. Flues should be tested at the same time as any gas or solid fuel appliance testing is undertaken.

A TV aerial is attached to the stack. At the moment the aerial and fixings appear satisfactory but they should be checked every 6 months for signs of deterioration.

It should be borne in mind that if works are required on the chimney stack to the building, scaffolding or other means of access will be required to undertake this work which can significantly increase the cost of the initial repair.



Side



Front



Minor defects noted



Internally



Slight rot to timbers

D2 - Roof Coverings

2

Pitched Roofs:

The main roof to the property is of pitched design covered with plain tiles. The covering is laid over battens and a waterproof membrane on a timber frame.

The covering was generally functional but we noted poor ventilation provision and moss growth. Repair and maintenance works should be carried out to ensure that the roof remains weathertight and does not leak.

There is a general unevenness to the roof surfaces which is probably due to the displacement of roof timbers over a number of years. This is not an unusual defect in a roof of this age and it is unlikely to progress significantly.

A roof covering of this type and age is likely to require ongoing maintenance to ensure that it remains weathertight. Some repairs may be difficult due to the possible fragile nature of the original material. Renewal is likely to be a more economic option in the short to medium term. You should therefore budget accordingly.

Roofing felt can become brittle with age, particularly when exposed to sunlight, rainwater and wind action. Deterioration often occurs at the bottom of the roof and at the edges where the lining is more exposed. Rot can occur to hidden timbers, especially near the eaves. Only full exposure of the eaves areas would reveal damage from deteriorated underfelt and tiles, which is beyond the scope of this report. If you wish to be certain, further investigation by a roofing contractor will be necessary before purchase. Coverings should be kept in good condition at all times. The felt should be replaced as soon as any deterioration is seen.

Moss can prevent the correct run off of rainwater and cause deterioration of the covering. It can lead to blockages in rainwater goods. You should ensure that any excessive moss growth is removed on a timely basis. Once the moss is removed, some repairs may be necessary to the roof finish.

It should be borne in mind that should work be required on the roof of the building, then scaffolding or other means of access will be required to undertake this work which can significantly increase the cost of the initial repair.



Undulating roof



Ridge tiles loose neighbouring property



Undulating roof to right



Moss growth.



Ridge tiles have been rebedded

D3 - Rainwater Goods

2

The rainwater goods are of a plastic and asbestos cement type, being fixed to fascia's and perimeter walls.

The rainwater goods were found to be generally functional but we noted some defects such as

suspect joints, leaking joints, moss and lichen growth, loose sections, inadequate fixings and damaged sections. Repair, maintenance and improvement works are now required.

It was not raining at the time of inspection and, therefore, it was not possible to confirm whether the rainwater goods are watertight. It is therefore recommended that the system is water tested soon after occupation or observed during rainfall to ensure they are functioning correctly. Some repair and renewal works may be necessary.

Leaking rainwater disposal systems can lead to penetrating dampness and deterioration of the building. Rainwater goods should be kept clean and free of any standing debris and moss at all times, to ensure the free flow of surface water runoff from roofs. Regular inspections should, therefore, be undertaken moving forward. Shortly after taking up occupation, you should arrange for the gutters to be cleaned, removing any moss, leaves and general debris.

Some of the rainwater goods may contain asbestos. These appear to be in satisfactory condition at present and should present no health risk if undisturbed. However they should not be cut or worked in any way and specialist advice must be sought if they are to be removed as this could prove costly. Further advice is available from the Health & Safety Executive - <https://www.gov.uk/search?q=asbestos>. The presence of asbestos is a serious concern to many people and could adversely affect the future value of the property. As a result, you may wish to give serious consideration to removing the material now.

Any repair and maintenance work to high-level rainwater pipes and gutters usually incurs additional costs due to the necessity to provide scaffolding or other safe means of access. This usually exceeds the cost of a minor repair and therefore any other works to high-level elements should also be carried out at this time.



Blocked by vegetation Front elevation



Leaking connection Front elevation



Stop end Front elevation



Possible asbestos



Rear



Downpipe to rear



Downpipe

D4 - Main Walls

2

The walls are of cavity masonry construction, approximately 280 mm thick.

The walls are part finished with tile hanging. Where walls are covered with tiles, it is not possible to comment specifically on the condition of the construction beneath. The tiled finish may conceal distortions, cracks or other defects.

The condition of the walls appear to be generally satisfactory with no significant defects evident at the time of the inspection. The walls all appear to be satisfactorily straight and true to the eye, and generally well pointed.

The tile-hung areas are in generally fair condition although there are slipped and missing tiles which need attention.

The structural condition of the walls appears to be generally satisfactory and we found no evidence of significant cracking, subsidence, structural movement or evidence of any past repair work having been carried out. As a result, we see no need to suggest you commission a detailed examination of the foundations.

DAMP PROOF COURSE:

A damp proof course (DPC) is a horizontal barrier of impermeable material placed in the base of a wall to prevent groundwater from rising up into the interior of the property, into a building. Older buildings often lacked any form of a damp-proof course. A wide variety of materials has been used over time to form DPC's. Rising dampness is generally regarded as being the result of a failure or absence of a damp-proof course. This may lead to perished plaster, damp staining, fungal growth, decay in skirting boards, floors and other timbers.

Although largely concealed, the horizontal DPC to the base of the main walls appears to comprise bitumen felt.

Internally, numerous moisture meter measurements, undertaken randomly at both high and low level, indicated no failure of the damp proof course or instances of penetrating damp. We noted the boiler room in the kitchen had higher moisture readings however this is not significant and due to lack of ventilation. If further issues arise we advise a damp specialist to be instructed.

There is evidence that cavity wall insulation has been installed. Your legal adviser should make enquiries to verify the type of insulation and the existence of valid guarantees. In some circumstances, cavity insulation can cause damp penetration and/or result in accelerated corrosion of wall ties that will require remedial treatment.



Missing tiles



Missing tiles



Cavity insulation holes



DPC



Rear elevation



Damage to tiles



Cement plynth damaged this can leak in water repairs required

D5 - Windows

1

The windows are of plastic construction, incorporating double glazed units.

The windows appear to be in generally serviceable condition for their type and age with no signs of significant deterioration. However, units were noted to be stiff and some easing and adjustment is required. Ongoing repair should be anticipated as part of future maintenance cycles.

Your legal adviser should confirm that a FENSA Certificate or a suitable alternative is available otherwise the installation may not comply with the Building Regulations.

The quality of sealed unit double-glazed windows varies and no assurances can be given concerning long-term durability.

The junction between the window frames and the surrounding wall is frequently a source of water penetration, particularly during severe weather conditions. It is important that the sealing material that protects these joints is regularly checked and maintained in good condition.

Properties of this age may not have lintels to support the masonry above the openings. Lintels may need installing or replacing when renewing windows.

Ongoing maintenance should always be anticipated to window joinery in the form of regular attention to items such as hinges, latches, locking mechanisms, framework, sills and glazing seal edges, etc. This is something all homeowners should anticipate and budget for.



Front



Front



Safety catches



No installation date stamp on Windows



Trip damage

D6 - External Doors

1

The doors are of plastic construction, incorporating double glazed units.

The doors appeared to be functional overall but defects were noted, such as weathered finishes. Repair and maintenance works are now required.

Your legal adviser should confirm that a FENSA Certificate or a suitable alternative is available otherwise the installation may not comply with the Building Regulations.

The quality of sealed unit double-glazed doors varies and no assurances can be given concerning long-term durability.

The junction between the door frames and surrounding masonry is frequently a source of water penetration, particularly during severe weather conditions. It is important that the sealing material that protects these joints is regularly checked and maintained in good condition.

Doors should ideally be provided with trickle vents in order to comply with current Building Regulations with regard to background ventilation for habitable rooms. It would be prudent to seek further advice from a window and door specialist, prior to the exchange of contract.

Properties of this age may not have lintels to support the masonry above the openings. Lintels may need installing or replacing when renewing doors.

Ongoing maintenance should always be anticipated to door joinery in the form of regular attention to items such as: hinges, latches, locking mechanisms, framework, weatherboard threshold strips and glazing seal edges, etc. This is something all homeowners should anticipate and budget for.



Weather guard missing



Front door



Front locks



Internal view



Rear door locks



Instalation. please check Fensa



Rear door

D7 - Conservatory and porches

N/A



D8 - Other joinery and finishes

2

External joinery, such as fascias, soffits and barge-boards, are formed in plastic.

The joinery appears to be in generally satisfactory condition for its age and with no significant defects noted. Subject to normal ongoing maintenance the joinery should remain serviceable for some years.

Some of the windows are binding on the fascia boards and preventing the full opening of the casement. This can be hazardous in the event of a fire and alterations are recommended.

It is now standard practice to insulate lofts in order to conserve energy and reduce heating costs. With the increase in insulation, it has become necessary to reduce the risk of condensation problems by ventilating roof spaces. This can be achieved in a variety of ways, including the provision of ventilation grilles in eaves and airbricks in gable walls, as well as roof ventilators in the slopes. A reputable roofing contractor will be able to undertake this work, and it is recommended that quotations should be obtained prior to a legal commitment to purchase.

Bearing in mind that the plastic roof level joinery is likely to have been fixed over the original elements, some repairs or renewal may well be found to be necessary when routine maintenance is carried out, especially if rot has affected the hidden timbers.





Damage to window internal



Windows on FF unable to open



Not vented



Not vented

D9 – Other

N/A



E	INTERNAL INSPECTION
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Inspection Limitations

We have endeavoured to inspect all parts of the property internally, but where a property is occupied, we do not move furniture, household items, lift floor coverings or floorboards.

E1 - Roof Structure

The roof structure is formed of traditional timber construction.

From the limited inspection available we saw no signs of significant deflection or movement.

Within the limitations of the inspection, a number of defects/issues were noted, including torn felt were noted and repairs are now required. Obtain estimates, prior to purchasing.

The lining under the roof coverings is damaged in places. There is a risk of penetrating dampness and repairs are now required.

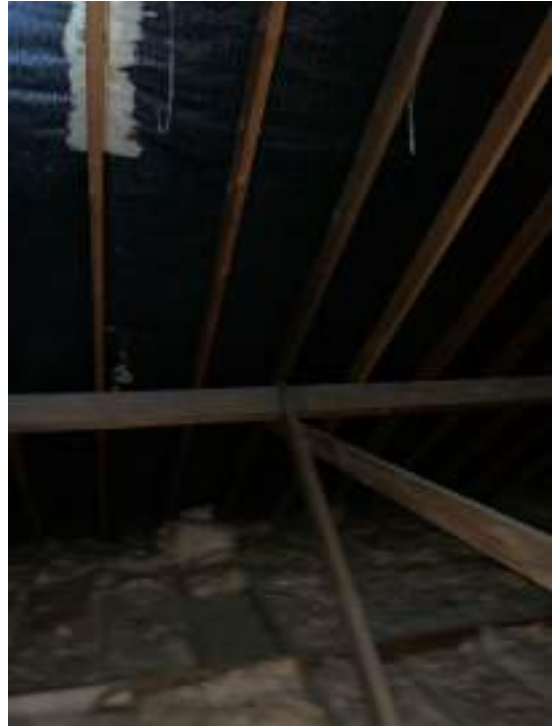
Roofing felt can become brittle with age, particularly when exposed to sunlight, rainwater and wind action. Deterioration often occurs at the bottom of the roof and at the edges where the lining is more exposed. Coverings should be kept in good condition at all times. The felt should be replaced as soon as any deterioration is seen. A closer inspection of the eaves over-lap areas is advised and you may also want to consider installing PVC liners to provide greater protection against damp penetration whilst also improving ventilation.

Where visible the electrical wiring is of a PVC-sheathed type. In places, it has been buried beneath loft insulation. This can cause overheating of the wires which could lead to fires. All covered cables must be re-positioned on top of the insulation.

You should ensure that your electrician checks the electrics within the loft area as part of the overall system inspection.



Party walls



Purlins and Trada Truss roof



Access via hall



Plug in light



Tangled bathroom ducting



Party walls



Thermal insulation



Damp readings ok



Battens cracked and torn felt

E2 - Ceilings

2

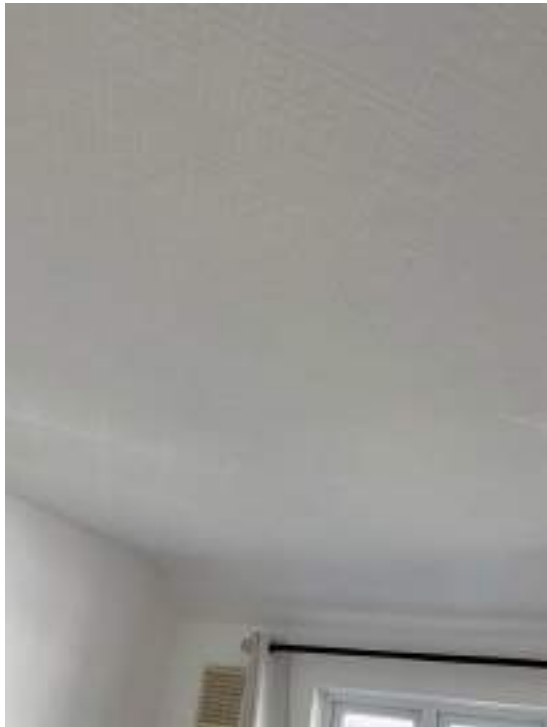
The ceilings are of plasterboard construction with various finishes.

The ceilings are in a serviceable condition, however, localised areas of hairline shrinkage cracking were noted, which is a result of thermal changes in the building materials and is considered cosmetic in nature. These can be attended to during normal routine re-decoration periodically. These types of cracks are very common in a property of this age and type of construction and do not give cause for concern.

A textured finish has been applied to some ceilings. It is now known that such finishes may contain low levels of asbestos. These appear to be in satisfactory condition at present and should present no health risk if undisturbed. However, they should not be cut or worked in any way and specialist advice must be sought if they are to be removed as this could be costly.

Modern ceiling finishes of plasterboard can crack at the joints between the boards and small areas of plaster can be dislodged by the nail fixings. These can be attended to under normal routine maintenance.

Some of the ceilings may be made of a material that contains asbestos. If these are disturbed, they could be a safety hazard. They should not be cut or worked in any way and specialist advice must be sought if they are to be removed as this could prove costly. Further advice is available from the Health & Safety Executive - <https://www.gov.uk/search?q=asbestos>. The presence of asbestos is a serious concern to many people and could adversely affect the future value of the property. As a result, you may wish to give serious consideration to removing the material now.



Paper lined



Hairline thermal cracks



ceilings

E3 - Walls and Partitions



Internal walls and partitions are of solid construction with various finishes.

The walls are in a serviceable condition, however, localised areas of hairline shrinkage cracking were noted, which is as a result of thermal changes in the building materials and is considered

cosmetic in nature. These can be attended to during normal routine re-decoration periodically. These types of cracks are very common in a property of this age and type of construction and do not give cause for concern.

Some localised high damp content was noted affecting the internal walls in the kitchen.

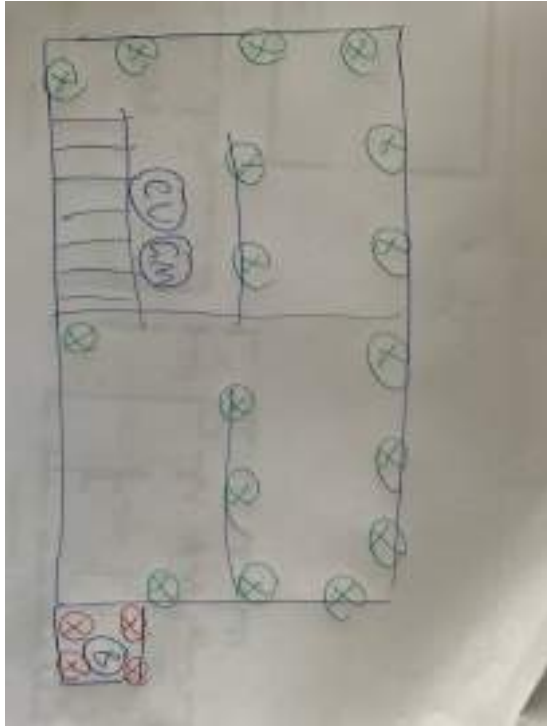
The exact cause is unclear but may be attributed (in part) to a lack of damp proof course. Condensation may also be a contributing factor and improving heating and ventilation will help in this respect.

It is recommended a competent and experienced contractor is engaged to assess the extent of repairs required and the associated costs.

Modern wall finishes of plasterboard can crack at the joints between the boards and small areas of plaster can be dislodged by the nail fixings. These can be attended to under normal routine maintenance.



Damp readings in this area only



Damp readings



Walls have vents



Limitations



Redecorating required



wall vents



Wall vents



Exposed pipes can burn children and small pets



Hair line cracks

E4 - Floors

1

The ground floor is of solid construction. The upper floors are of suspended timber construction.

The solid floors are in generally satisfactory condition with no signs of significant deflection or distortion.

Please be aware that the solid floors are concealed by various finishes and could not be inspected in great detail. Some defects/issues may be discovered once the floor finishes are removed/replaced.

The timber floors are generally reasonably firm and level. They would appear to be capable of bearing normal domestic loads.



Solid floors to ground level



Suspended timber

E5 - Fireplaces and Chimney Breasts

3

There is a fireplace in the lounge fitted with a gas fire.

It is not possible to indicate the condition of flues or the presence of flue liners. As a precautionary measure, we would advise that any gas appliances are serviced and examined by a Gas Safe registered contractor to ensure both the safe and efficient operation of the appliances and the flues. The contractor should also confirm that adequate ventilation has been provided to this appliance.

The chimney sites appear to be largely redundant and disused. If you propose to use the fireplaces in the future, we recommend that the flues are checked and swept before use. It is also possible that || flue linings will need to be fitted/flue linings have deteriorated and may need to be renewed ||. Background ventilation levels should also be checked and these may need to be upgraded. You should obtain further advice from a HETAS-registered contractor.



Breast in loft



Breast in loft suspect area for leaks



Gas fire to lounge



Breast to bedroom



Flue inside



Gas Safe registered contractor to check

E6 - Built in Fittings (e.g. built in kitchens not including appliances)

1

The kitchen units appear to be adequately presented and serviceable if subject to general wear and tear. No doubt you have already assessed the adequacy of these, and other built-in fittings, for your own purposes.

There is insufficient ventilation in the kitchen. We recommend modern mains mechanical extraction or environment control units are installed to prevent condensation and related defects. We refer you to our comments within Section Heating & Ventilation later in this report.

Built-in fittings can sometimes conceal defects and signs of dampness/condensation and mould in the structure behind, which will only become apparent when they are removed. We are unable to identify defects hidden within the structure or fabric of the building.

Adequate ventilation must be maintained within the kitchen. This will be achieved by periodically servicing any mechanical ventilation systems, operating or installing trickle vents in windows, and maintaining a 10mm gap below doors.

A mastic seal should be applied along the back edges of the kitchen worktops to prevent water penetration behind the units. The carcassing to these units is made of chipboard which deteriorates when it becomes wet. It is therefore necessary to protect the chipboard by maintaining seals and laminated coverings in good condition.



Induction hob only



Oven condition



Kitchen



Kitchen



No stop cock seen



No stop cock found



Loose tap fitting



Carbon filter not advised



Door screen to boiler broken

E7 - Woodwork (e.g. staircase joinery)

2

The internal woodwork comprises doors, stairs, frames, architraving and skirting boards with various finishes.

The internal woodwork/joinery is consistent with its age and was noted to be in a serviceable condition, if subject to general wear and tear. However, worn furniture, damaged joinery and worn finishes was noted. Improvement works are now required.

The internal decorations are generally in a dated condition and soiled in areas, and redecoration is recommended. You should allow for some making good as part of the preparation works. Some further marking and dis-colouration are likely to become apparent when furnishings are removed.



Wood work condition



Bedroom cupboard lock handle broken



Broken handle



Stairs



900mm.



Door furniture





E8 - Bathroom Fittings

1

The sanitary fittings are in satisfactory working order. This means that there appears to be an adequate flow of water and drainage provision with no evidence of leaks, breakages and other significant defects.

The sanitary fittings are functional but we noted defects such as a loose WC seat and repairs and improvements are required.

Flexible sealants around the sanitary fittings are a source of water penetration and should be checked regularly and renewed as necessary. Damage may allow water penetration to enclosed areas beneath, which can cause rot and decay.

Tiled walls in showers are commonly a source of water penetration which can lead to damage to services and finishes as well as timber decay. While no problems were seen, regular maintenance should be undertaken along with prompt repair in response to any defects that become apparent.

The flooring beneath the fixtures and fittings could not be inspected as this would involve damaging investigations which are beyond the scope of a normal survey. If there has been leakage, such as from concealed pipework, grouting, seals or through gaps in the wall tiles, the dampness may have caused some rot in the floor.

Whilst we found no evidence of serious leakage or decay, these defects are often hidden within the structure and therefore if you wish to be certain, opening up of the fixtures and fittings and water testing will need to be carried out prior to legal commitment to purchase.

With respect to showers generally, they should be regularly cleaned, including the heads, to prevent the harbouring of bacteria such as Legionella.

The shower installation was not operated and this should be tested and checked before purchase. Only formal investigation and testing can confirm the adequate operation and efficiency of such installations and we refer you to our comments within the section titled 'Water Heating', as detailed below.



loos seat



shower



sink



fittings



mev system should extract system

E9 - Other

NA

N/A

F	SERVICES
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Inspection Limitations

In view of the above limitations to our inspection, and having regard to the safety implications, services must be tested prior to purchase.

F1 - Electricity**3****SAFETY WARNING:**

You should have your electrical installations inspected and tested regularly to protect your home from damage and to avoid putting your safety at risk. Guidance published by the Institution of Electrical Engineers recommends that electrical installations should be inspected and tested at least every 10 years and when the occupiers of the property change. This should include (but not limited to), where applicable, showers, hot taps, electric underfloor heating, macerators, cooker hoods, ovens and all other associated fixtures and fittings. All electrical work carried out after 1 January 2005 should be recorded on an Electrical Installation Certificate.

It is impossible to fully assess the condition of an electrical installation on the basis of a visual inspection only. There are many factors relating to the adequacy of electrical installations which can only be identified by a test which covers matters relating to resistance, impedance and current, etc.

Mains electricity is connected, with the meter and consumer unit located in the under stairs cupboard.

Our visual inspection revealed that the installation appeared to be functional. However, in view of the guidance given above relating to the change of occupancy, we recommend that the installation should now be checked by an appropriate specialist registered with either the NICEIC or a similar approved body prior to the exchange of contracts.



Loose fitted sockets



Wires in openings especially when required to be



plug check



Dated counsumer unit request an EICR



F2 - Gas/Oil

3

SAFETY WARNING:

All gas and oil appliances and equipment should regularly be inspected, tested, maintained and serviced by a registered 'competent person' and in line with the manufacturer's instructions. This is important to make sure that the equipment is working correctly, to limit the risk of fire and carbon monoxide poisoning, and to prevent carbon dioxide and other greenhouse gases from leaking into the air. For more advice, contact the Gas Safe Register for gas installations, and OFTEC for oil installations.

Mains gas supply is connected, with a meter located in the under stairs cupboard.

In view of the guidance above and as a matter of safety, you should now arrange for the installation and all gas appliances to be inspected and tested by a Gas Safe engineer prior to the exchange of contracts.



should be 150mm apart



Gas meter



non conductive barrier

F3 - Water

3

We must stress that whilst every effort is made to identify any obvious deficiencies or signs of problematic areas, our inspection, is a visual, surface-level only and no tests are carried out. Much of the plumbing installation is often hidden away within sub-structures such as floors, walls and ceilings, etc. A further, more detailed, review and test of the plumbing installation is advised so, as

to avoid any problems after taking up occupation.

Mains water is supplied. The external stop valve is located on the pavement.

Upon inspection, the external water stopcock was found to be flooded. This may indicate a potential issue such as a leaking pipe, which could result in additional costs for the purchaser. It is recommended to address this matter promptly, considering the possibility of a leaked cover, seal or water ingress from below. It is advisable to involve the water company and seek legal advice for further investigation and resolution.

Internal stopcock, not found.

We cannot confirm whether the property has a water meter.

The supply pipes, where visible, are in generally satisfactory condition and no leaks or other serious defects were noted. However, much of the pipework is concealed and it is, therefore, possible that defects could exist in unseen areas. It would be prudent to instruct an approved plumbing contractor to inspect the whole installation, prior to purchasing so that you are fully aware of its condition and the need for any necessary remedial works.



Seek advice from water company



Stop cock to outbuilding

F4 - Heating

3

HEATING:

The property has a conventional gas-fired central heating system with a boiler which feeds a series of radiators in the various rooms. Whilst apparently serviceable, you should now arrange for a Gas Safe engineer to check and test the system prior to the exchange of contracts as a matter of safety.

The radiators are of varying ages and whilst adequate at present, upgrading will need to be carried out in the medium term.

The position of the flue is suspect and may not comply with current regulations. You should ask a Gas Safe and OFTEC engineer to check the situation when the initial inspection is carried out.

VENTILATION:

There is insufficient ventilation in the kitchen. Additional mechanical extraction should now be considered.

Current Building Regulations state that all habitable rooms should be provided with adequate background ventilation. This is normally provided via trickle ventilation to the head of windows and doors. We, therefore, recommend you instruct a window/door specialist to undertake a full assessment of all existing windows and doors with all appropriate recommendations to be undertaken. This should ideally be undertaken, prior to the exchange of contracts, so that you are fully aware of what work are required and associated costs.



Bedroom radiator



Single panel radiator



Bedroom radiator



Heating to bathroom



Boiler thermostat



Boiler make



Boiler



flue condition should be checked

F5 - Water Heating

3

Hot water is provided by the main combination boiler. See our comments below, Heating & Ventilation.

The inspection of the hot water system should include showers where applicable. Only formal investigation and testing can confirm the adequacy and efficiency of such installations.

You should now arrange for a suitably qualified person to check and test this system prior to the exchange of contracts, to confirm the condition of the installation, effectiveness and suitability for your needs and rule out any potential financial liabilities.

F6 - Drainage

3

The property is believed to be connected to the mains drainage system. In older properties, both foul and surface water goes into the same pipes while newer properties keep the two in separate pipes. The subject property is believed to be connected to a combined system.

ABOVE GROUND:

The property has a combination of PVC, cast iron waste pipes and asbestos waste pipes.

As stated above, partial corrosion was evident to the cast-iron soil pipe. Repairs can be carried out to prolong the units but deterioration is likely to be ongoing. If they are to be retained, frequent maintenance should be expected with increased costs. You should anticipate and budget for the

renewal with modern equivalents in the short to medium term.

A bird guard should be fitted to the summit of the stack to prevent blockages and associated defects.

Drains around the perimeter of the property contain vegetation/debris and to reduce the risk of blockages should be cleared and periodically maintained thereafter.

Some parts are made of a material that may contain asbestos fibres. You should not disturb this without prior advice from a licensed specialist or a contractor experienced in this type of work.

BELOW GROUND:

Covers were raised where possible and, in these positions, the chambers were noted to be free from blockage or other obvious serious defects. Please note, however, that this limited form of examination does not constitute a formal drains test and should not be construed as such. Should you wish to be appraised as to the condition of the whole system, a full drainage inspection should be commissioned prior to purchase.

Inspection chambers and gullies should be maintained to a good standard. Therefore, they should be checked and jet-washed/cleaned annually. Periodic repairs may be required from time to time.

Inevitably the drains will have deteriorated during the life of the building, and it is possible that they are leaking or possibly damaged. Leaking drains can cause soil erosion and affect foundations. A test by a drainage specialist prior to a legal commitment to purchase would be prudent.



Kitchen waste line



Waste conection WC



IC



Redundant line



No bird guard



May contain asbestos fibres

F7 - Common Services

N/A

NA

G	GROUNDS
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Inspection Limitations

The inspection of the grounds was limited to those parts that could be readily accessible or seen within the curtilage of the property.

G1 - Garage



N/A

G2 - Permanent Outbuildings and Other Structures



The property has storage buildings to the rear.

The stores are in a poor condition, built to a basic standard and have been poorly maintained. They are of no economic value and demolition and reconstruction, if required, is the most realistic option. You should obtain estimates, prior to the exchange of contracts.

There are no visible British Standard marks on some of the glazing. This suggests that it is not safety glass and does not meet current standards and should be upgraded as a precaution.

Parts of the stores are made out of material that may contain asbestos. These appear to be in satisfactory condition at present and should present no health risk if undisturbed. However, they should not be cut or worked in any way and specialist advice must be sought prior to being removed as this will prove costly.

Should you wish to store items inside be advised that this space will likely be subject to ongoing water penetration and/or condensation.



Possible, asbestos corrugated roof



Outbuilding/stores



Possible asbestos toilet seat cover redundant



Outbuilding/stores



Non-safety glazing

G3 - Other

2

We saw no sign of invasive species such as Japanese Knotweed in either the garden or on adjoining land. Japanese Knotweed is a fast-growing and invasive weed which can cause damage to buildings and services and is difficult to eradicate. The presence of this plant can have a seriously adverse impact on the saleability of a property largely because of mortgage lender restrictions. Japanese Knotweed is, however, known to exist in the area and may become a problem in the future.

The external areas appeared generally maintainable but we noted some defects/issues that will require repair or renewal including poor drainage to some surface areas, deterioration of the timber fencing, deterioration of the gate and uneven slabs. Repairs and improvements are now required in order to prevent issues from arising in the future.

Bamboo was noted to the rear garden, this left unattended can cause significant damage and the bamboo should now be fully eradicated from the garden.

Party wall walks have been carried out to neighbouring properties on each side, solicitor should ascertain whether any party wall agreements have been put in place.



party wall agreement in place check required



Rear garden



Party wall agreement in place check required



Driveway to front of property



Check if Road is adopted



Shared access



bamboo in garden



Various slabs, uneven



Fencing and garden needs to be replaced or redecorated



Asbestos roof to outbuilding

H	MATTERS FOR YOUR SOLICITOR
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Regulation

A tunnel entry which is shared with the neighbouring property, affords direct access to the rear garden. There may also be a flying freehold over part of the entry. Your Legal Adviser should confirm the arrangements and implications.

Access to the property is by roads and footpaths, which are made up and are assumed to be adopted by the Local Authority. Confirmation should be obtained by your Legal Adviser.

We understand that the property is held on a Freehold Title. You should ask your legal adviser to confirm this and explain the implications.

We understand that the property is held on a Freehold Title. You should ask your legal adviser to confirm this and explain the implications.

Guarantees

Your legal adviser should establish whether there are any service agreements or engineer's certificates.

Confirmation should be obtained that the property is connected to mains drainage.

A Gas, Electrical, Oil, Inspection Certificate for the property should be obtained.

You should access and consider the Energy Performance Certificate (EPC) for the building. Please also refer to the Energy Efficiency and Carbon Footprint section of this report for further general advice.

Other matters

Means of escape in case of fire is relevant to all occupiers of domestic houses and flats. The requirements are covered in the current Building Regulations by Approved Document B (Fire safety, specifically B1 - Means of escape). Homes built in the latter part of the last century onwards should have been built in compliance with the relevant Building Regulations applicable at the time of construction. However, subsequent alterations such as internal wall removal, loft conversions and garage conversion, which may have been undertaken without proper consents may result in non-compliance. Older properties built before the introduction of Building Regulations, by definition, can never have complied.

Your legal adviser should confirm and verify the extent and ownership of the various boundaries surrounding the property so that you can better understand and budget for your financial and any potential legal liabilities in respect of such. This is so, as to avoid any doubt or potential disputes with neighbouring property owners at a later stage.

Part of this property may extend over a neighbouring property and is called a 'flying freehold'. You should ask your legal adviser to confirm this and explain the implications. In some cases, this may affect your legal rights over the property and cause difficulties with lenders. This may affect the future saleability of the property.

Building works which affect shared walls, structures, or are close to boundaries may be regulated by The Party Wall, etc. Act, 1996. This provides a framework for preventing and resolving disputes in relation to party walls and structures, boundary walls and excavations near neighbouring buildings. Your legal adviser should check whether any previous or planned works, or work recommended in this report are covered by the Act. Further advice is available from: <https://www.gov.uk/party-walls-building-works/overview>.

I	RISKS
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Risk to the Building

- Potential defects arising from services including all gas installations, electric, water and drainage. Full inspections of these services should be carried out before purchase.

- Given the age of the property, the potential for hidden asbestos to be present within its construction is considered to be above average and you must therefore accept and budget accordingly.

There is no burglar alarm fitted and this should be considered upon occupation as the installation of such a system can help deter intruders and can possibly lower insurance premiums.

It is important that all external doors and windows provide a proper level of security to prevent unwanted entry. You should make sure at the very least that the standards required by your buildings insurance policy are satisfied. Good advice can also be obtained from the local Crime Prevention Officer.

Risks to the Grounds

Asbestos to the outbuilding and redundant downpipes.

Risks to People

The following issues have been identified as being potentially hazardous to the occupants. You should consider these issues, investigate and carry out improvements as deemed necessary. Quotations should be gained prior to purchase for any works deemed necessary.

- Ventilation is necessary to provide a healthy and comfortable internal environment for the building occupants. The main purpose of ventilation is to remove polluted indoor air from a building and replace it with 'Fresh' outside air. It is important that you review the natural background, mechanical and trickle ventilation and carry out upgrading where feasible and practical to do so.

Means of escape in case of fire is relevant to all occupiers of domestic houses and flats. The requirements are covered in the current Building Regulations by Approved Document B (Fire safety, specifically B1 - Means of escape). Homes built in the latter part of the last century onwards should have been built in compliance with the relevant Building Regulations applicable at the time of construction. However, subsequent alterations such as internal wall removal, loft conversions and garage conversion, which may have been undertaken without proper consents may result in non-compliance. Older properties built before the introduction of Building Regulations, by definition, can never have complied.

We recommend that mains connected smoke, carbon monoxide and heat detectors are fitted and tested, prior to occupation.

There are currently no mains-wired smoke, heat or carbon monoxide alarms fitted.

Other risks or Hazards

N/A

Appendix 1 – Maintenance Tips

Your home needs maintaining in the normal way, and this general advice may be useful when read together with your report. It is not specific to this property and does not include comprehensive details. Problems in construction may develop slowly over time.

Outside the property

You should check the condition of your property at least once a year and after unusual storms.

Routine redecoration of the outside of the property will also give you an opportunity to closely examine the building.

- **Chimney stacks:** Check these occasionally for signs of cracked cement, split or broken pots, or loose and gaping joints in the brickwork or render. Storms may loosen aerials or other fixings, including the materials used to form the joints with the roof coverings.
- **Roof coverings:** Check these occasionally for slipped, broken and missing tiles or slates, particularly after storms. Flat roofing has a limited life and is at risk of cracking and blistering. You should not walk on a flat roof. Where possible keep it free from debris. If it is covered with spar chippings, make sure the coverage is even, and replace chippings where necessary.
- **Rainwater pipes and gutters:** Clear any debris at least once a year, and check for leaks when it is raining. You should also check for any loose downpipe connectors and broken fixings.
- **Main walls:** Check main walls for cracks and any uneven bulging. Maintain the joints in brickwork and repair loose or broken rendering. Re-paint decorated walls regularly. Cut back or remove plants that are harmful to mortar and render. Keep the soil level well below the level of any damp proof course (150mm minimum recommended) and make sure any ventilation bricks are kept clear. Check over cladding for broken, rotted or damaged areas that need repairing.
- **Windows and doors:** Once a year check all frames for signs of rot in wood frames, for any splits in plastic or metal frames and for rusting to latches and hinges in metal frames. Maintain all decorated frames by repairing or redecorating at the first sign of any deterioration. In autumn check double glazing for condensation between the glazing, as this is a sign of a faulty unit. Have broken or cracked glass replaced by a qualified specialist. Check for broken sash cords on sliding sash windows, and sills and window boards for any damage.
- **Conservatories and porches:** Keep all glass surfaces clean, and clear all rainwater gutters and down pipes. Look for broken glazing and for any leaks when it's raining. Arrange for repairs by a qualified specialist.
- **Other woodwork and finishes:** Regularly redecorate all joinery, and check for rot and decay which you should repair at the same time.

Inside the property

You can check the inside of your property regularly when cleaning, decorating, and replacing carpets or floor coverings. You should also check the roof area occasionally.

- **Roof structure:** When you access the roof area, check for signs of any leaks and the presence of vermin, rot or decay to timbers. Also look for tears to the under-felting of the roof, and check pipes, lagging and insulated areas.
- **Ceilings:** If you have a leak in the roof the first sign is often damp on the ceiling beneath the roof. Be aware if your ceiling begins to look uneven as this may indicate a serious problem, particularly for older ceilings.
- **Walls and partitions:** Look for cracking and impact damage, or damp areas which may be caused by plumbing faults or defects on the outside of the property.
- **Floors:** Be alert for signs of unevenness when you are moving furniture, particularly with timber floors.
- **Fireplaces, chimney breasts and flues:** You should arrange for a qualified specialist to regularly sweep all used open chimneys. Also, make sure that bricked-up flues are ventilated. Flues to gas appliances should be checked annually by a qualified gas technician.
- **Built-in fittings:** Regularly check for broken fittings.

Services

- Ensure all meters and control valves are easy to access and not hidden or covered over.
- Arrange for an appropriately qualified technician to check and test all gas and oil services, boilers, heating systems and connected devices ones a year.
- Electrical installations should only be replaced or modified by a suitably qualified electrician and tested as specified by the Electrical Safety Council (recommended minimum of a ten year period if no alterations or additions are made, or on change of occupancy).
- Monitor plumbing regularly during use. Look out for leakage and breakages, and check insulation is adequate particularly as winter approaches.
- Lift drain covers annually to check for blockages and clean these as necessary. Check any private drainage systems annually and arrange for a qualified contractor to clear there as necessary. Keep gullies free from debris.

Grounds

- **Garages and outbuildings:** Follow the maintenance advice given for the main building.
- **Other:** Regularly prune trees, weeds, shrubs, and hedges, as necessary. Look out for any overhanging and unsafe branches, loose walls, fences, and ornaments, particularly after storms. Clear leaves and other debris, moss, and algae growth.

Make sure all hard surfaces are stable and level, and not slippery or a trip hazard.

Appendix 2 – What to do Now

We have provided advice below on what to do next now that you have an overview of any work to be carried out on the property.

We recommend you make a note of any quotations you receive. This will allow you to check the amounts are in line with our estimates if cost estimates have been provided.

Getting quotations

The cost of repairs may influence the amount you are prepared to pay for the property. Before you make a legal commitment to buy the property, you should get reports and quotations for all the repairs and further investigations the surveyor may have identified.

You should get at least two quotations from experienced contractors who are properly insured.

You should also:

- ask them for references from people they have worked for
- describe in writing exactly what you will want them to do and
- get them to put their quotations in writing.

Some repairs will need contractors who have specialist skills and who are members of regulated organisations (for example, electricians, gas engineers, plumbers and so on). You may also need to get Building Regulations permission or planning permission from your local authority for some work.

Further investigations and what they involve

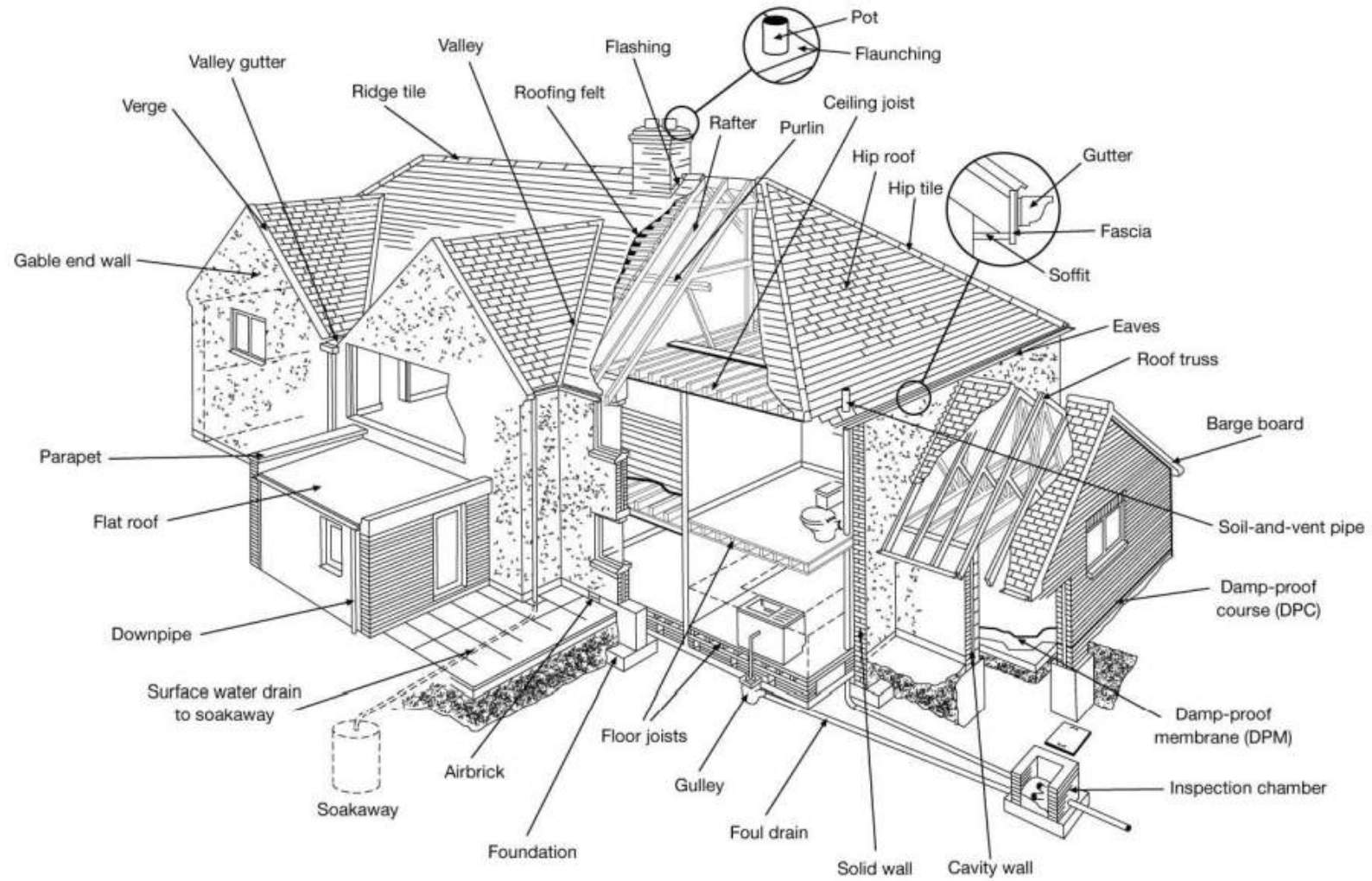
If we are concerned about the condition of a hidden part of the building, could only see part of a defect or do not have the specialist knowledge to assess part of the property fully, we may have recommended that further investigations should be carried out to discover the true extent of the problem.

This will depend on the type of problem, but to do this properly, parts of the home may have to be disturbed, so you should discuss this matter with the current owner. In some cases, the cost of investigation may be high.

When a further investigation is recommended, the following will be included in your report:

- a description of the affected element and why a further investigation is required
- when a further investigation should be carried out and
- a broad indication of who should carry out the further investigation. Who you should use for further investigations You should ask an appropriately qualified person, although it is not possible to tell you which one. Specialists belonging to different types of organisations will be able to do this. For example, qualified electricians can belong to five different government approved schemes. If you want further advice, please contact the surveyor

Appendix 3 – Typical House Diagram



Description of the Level 2 Survey (Home Survey Report)

This service is benchmarked against the RICS Home Survey Standard Survey Level 2.

This level of service is for clients who are seeking a professional opinion at an economic price.

It is, therefore, less comprehensive than a level three service.

The focus is on assessing the general condition of the main elements of a property.

This intermediate level of service includes a more extensive visual inspection of the building, its services, and grounds, but still without tests.

Concealed areas normally opened or used by the occupiers are inspected if it is safe to do so (typical examples include roof spaces, basements, and cellars).

The report objectively describes the condition of the different elements and provides an assessment of the relative importance of the defects/problems.

At this level, although it is concise, the report does include advice about repairs and any ongoing maintenance issues.

Where the surveyor is unable to reach a conclusion with reasonable confidence, a recommendation for further investigations should be made.

This level of service suits a broader range of conventionally built properties.

This level of service is unlikely to suit:

- complex buildings, for example those that have been extensively extended and altered
- unique or older historic properties - although survey level two services may be appropriate for some older buildings, the decision will depend on the surveyors proven competence and knowledge and the nature of the building itself. For example, a survey level two report on homes with traditional timber frames or those built much before 1850 is likely to be inconclusive and be of little use to the client

or

- properties in neglected condition.

Pre-war or larger properties are generally more suited to the Level 3 Building Survey as this can provide a more in depth focused and tailored approach to defects, maintenance, and repairs.

The service

The **Level 2 Survey** service includes:

- a physical **inspection** of the property (see 'The inspection' below) and

- a **report** based on the inspection (see 'The report' below).

The surveyor who provides the Level 2 Survey service aims to give you professional advice to:

- make an informed decision on whether to go ahead with buying the property.
- take into account any repairs or replacements the property needs, and
- consider what further advice you should take before committing to purchasing the property.

Any extra services provided that are not covered by the terms and conditions of this service must be covered by a separate contract.

The inspection

The surveyor inspects the inside and outside of the main building and all permanent outbuildings, recording the construction and significant visible defects that are evident. This inspection is intended to cover as much of the property as is physically accessible. Where this is not possible, an explanation is provided in the 'Limitations on the inspection' box in the relevant section of the report.

The surveyor does not force or open the fabric of the building. This includes taking up fitted carpets, fitted floor coverings or floorboards; moving heavy furniture; removing the contents of cupboards, roof spaces, etc.; removing secured panels and/or hatches; or undoing electrical fittings.

If necessary, the surveyor carries out parts of the inspection when standing at ground level, from adjoining public property where accessible. This means the extent of the inspection will depend on a range of individual circumstances at the time of inspection, and the surveyor judges each case on an individual basis.

The surveyor uses equipment such as a damp meter, binoculars, and torch, and uses a ladder for flat roofs and for hatches no more than 3m above level ground (outside) or floor surfaces (inside) if it is safe to do so.

If it is safe and reasonable to do so, the surveyor will enter the roof space and visually inspect the roof structure with attention paid to those parts vulnerable to deterioration and damage. Although the surveyor does not move or lift insulation material, stored goods, or other contents.

The surveyor also carries out a desk-top study and makes oral enquiries for information about matters affecting the property.

Services to the property

Services are generally hidden within the construction of the property.

This means that only the visible parts of the available services can be inspected, and the surveyor does not carry out specialist tests. The visual inspection cannot assess the efficiency or safety of electrical, gas or other energy sources. It also does not investigate the plumbing, heating, or drainage installations (or whether they meet current regulations), or the internal condition of any chimney, boiler, or other flue.

Outside the property

The surveyor inspects the condition of boundary walls, fences, permanent outbuildings, and areas in common (shared) use. To inspect these areas, the surveyor walks around the grounds and any neighbouring public property where access can be obtained.

Where there are restrictions to access (e.g., a creeper plant prevents closer inspection), these are reported, and advice is given on any potential underlying risks that may require further investigation.

Buildings with swimming pools and sports facilities are treated as permanent outbuildings and are therefore inspected, but the surveyor does not report on the leisure facilities, such as the pool itself and its equipment internally and externally, landscaping, and other facilities (for example, tennis courts and temporary outbuildings).

Flats

When inspecting flats, the surveyor assesses the general condition of the outside surfaces of the building, as well as its access areas (for example, shared hallways and staircases that lead directly to the subject flat) and roof spaces, but only if they are accessible from within and owned by the subject flat. The surveyor does not inspect drains, lifts, fire alarms and security systems.

External wall systems are not inspected. If the surveyor has specific concerns about these items, further investigation will be recommended before making a legal commitment to purchase.

Dangerous materials, contamination, and environmental issues

The surveyor does not make any enquiries about contamination or other environmental dangers. However, if the surveyor suspects a problem, they should recommend further investigation.

The surveyor may assume that no harmful or dangerous materials have been used in the construction and does not have a duty to justify making this assumption. However, if the inspection shows that such materials have been used, the surveyor must report this and ask for further instructions.

The surveyor does not carry out an asbestos inspection and does not act as an asbestos inspector when inspecting properties that may fall within The Control of Asbestos Regulations 2012 ('CAR 2012'). However, the report should properly emphasise the suspected presence of asbestos containing materials if the inspection identifies that possibility.

With flats, the surveyor assumes that there is a 'duty holder' (as defined in CAR 2012), and that there is an asbestos register and an effective management plan in place, which does not present a significant risk to health or need any immediate payment. The surveyor does not consult the duty holder.

The report

The surveyor produces a report of the inspection results for you to use but cannot accept any liability if it is used by anyone else. If you decide not to act on the advice in the report, you do this at your own risk.

The report objectively describes the condition of the elements and provides an assessment of the relative importance of the defects/problems.

Although it is concise, the Level 2 Survey does include advice about repairs or any ongoing maintenance issues.

Where the surveyor is unable to reach a conclusion with reasonable confidence, a recommendation for further investigation will be made.

The surveyor notes in the report if it was not possible to check any parts of the property that the inspection would normally cover. If the surveyor is concerned about these parts, the report tells you about any further investigations that are needed.

Energy

The surveyor has not prepared the Energy Performance Certificate (EPC) as part of the Level 2 Survey service for the property.

Where the EPC has not been made available by others, the most recent certificate will be obtained from the appropriate central registry where practicable.

If the surveyor has seen the current EPC, they will review and state the relevant energy efficiency rating in this report.

In addition, as part of the Level 2 Survey service, checks are made for any obvious discrepancies between the EPC and the subject property, and the implications are explained to you.

Issues for legal advisers

The surveyor does not act as a legal adviser and does not comment on any legal documents. If, during the inspection, the surveyor identifies issues that your legal advisers may need to investigate further, the surveyor may refer to these in the report (for example, to state you should check whether there is a warranty covering replacement windows).

This report has been prepared by a surveyor merely in their capacity as an employee or agent of a firm, company, or other business entity ('the Company'). The report is the product of the Company, not of the individual surveyor.

All of the statements and opinions contained in the report are expressed entirely on behalf of the Company, which accepts sole responsibility for them. For their part, the individual surveyor assumes no personal financial responsibility or liability in respect of the report, and no reliance or inference to the contrary should be drawn.

In the case of sole practitioners, the surveyor may sign the report in their own name, unless the surveyor operates as a sole trader limited liability company. Nothing in the report excludes or limits liability for death or personal injury (including disease and impairment of mental condition) resulting from negligence.

Risks

This section summarises defects and issues that present a risk to the building or grounds, or a safety risk to people. These may have been reported and condition rated against more than one part of the

property or may be of a more general nature. They may have existed for some time and cannot be reasonably changed.

If the property is leasehold, the surveyor gives you general advice and details of questions you should ask your legal advisers.

The Level 2 Survey report will identify and list the risks and explain the nature of these problems.

Cancelling this contract

You should seek advice on your obligations under The Consumer Contracts (Information, Cancellation and Additional Charges) Regulations 2013 ('the Regulations') and/or the Consumer Rights Act 2015 in accordance with section 2.6 of the current edition of the Home survey standard RICS professional statement.

Liability

The report is provided for your use, and the surveyor cannot accept responsibility if it is used, or relied upon, by anyone else.

Notes

These terms form part of the contract between you and the surveyor.

This report is for use in the UK.

Complaints handling procedure

The surveyor will have a complaint handling procedure and will give you a copy if you ask for it. The surveyor is required to provide you with contact details, in writing, for their complaints department or the person responsible for dealing with client complaints. Where the surveyor is party to a redress scheme, those details should also be provided. If any of this information is not provided, please notify the surveyor, and ask for it to be supplied.

SIGNATURE AND AUTHORITY

Property Address	
Survey Type	Level 2 Survey only
Date Inspected	February 9, 2024

PREPARED ON BEHALF OF

Firm Name	River Crest Surveyors
Registered firm address	Office B, Chesil House, Arrow Close, Eastleigh, England, SO50 4SY
Assigned office	River Crest Surveyors
Office address	Office B, Chesil House, Arrow Close, Eastleigh, Hampshire, SO50 4SY

DECLARATION

I declare that, I am personally digitally signing this report and that I have no direct or indirect interest present or contemplated in the property or this transaction except for the purpose of a survey/valuation or inspection. Where an inspection has been undertaken and/or a valuation has been provided, this has been done so in accordance with the current RICS standards. I have undertaken this report on behalf of the firm named in this report.

DIGITAL SIGNATURE

Your digital signature renders you and your firm legally liable for the material content of any document authenticated by it.

By digitally signing the report you represent and warrant that you have the legal right, power, and authority to represent 'the Company' or organisation named in the report. You further agree that the use of your unique security code constitutes an electronic signature equivalent to your handwritten signature and that you have formed, executed, entered into, accepted the terms of and otherwise authenticated any report signed off by it. You acknowledge and agree that this Agreement is an electronic record for purposes of digital signature, and as such is completely valid, has legal effect, is enforceable, and is binding on and non-refutable by you.

This report has been prepared by a surveyor ('the Individual Surveyor') merely in his or her capacity as an employee or agent of a firm or company or other business entity ('the Company'). The report is the product of the Company, not of the Individual Surveyor. All of the statements and opinions contained in this report are expressed entirely on behalf of the Company, which accepts sole responsibility for these. For his or her part, the Individual Surveyor assumes no personal financial responsibility or liability in respect of the report and no reliance or inference to the contrary should be drawn.

Surveyor	Nitin Randev
Qualifications	AssocRICS
Date	10 Feb 2024 @ 12:23 AM
Signature	3296:15950:vsofkfgd5